

PROPERTY OWNERS LIST
(WITHIN 200' OF SUBJECT PROPERTY)

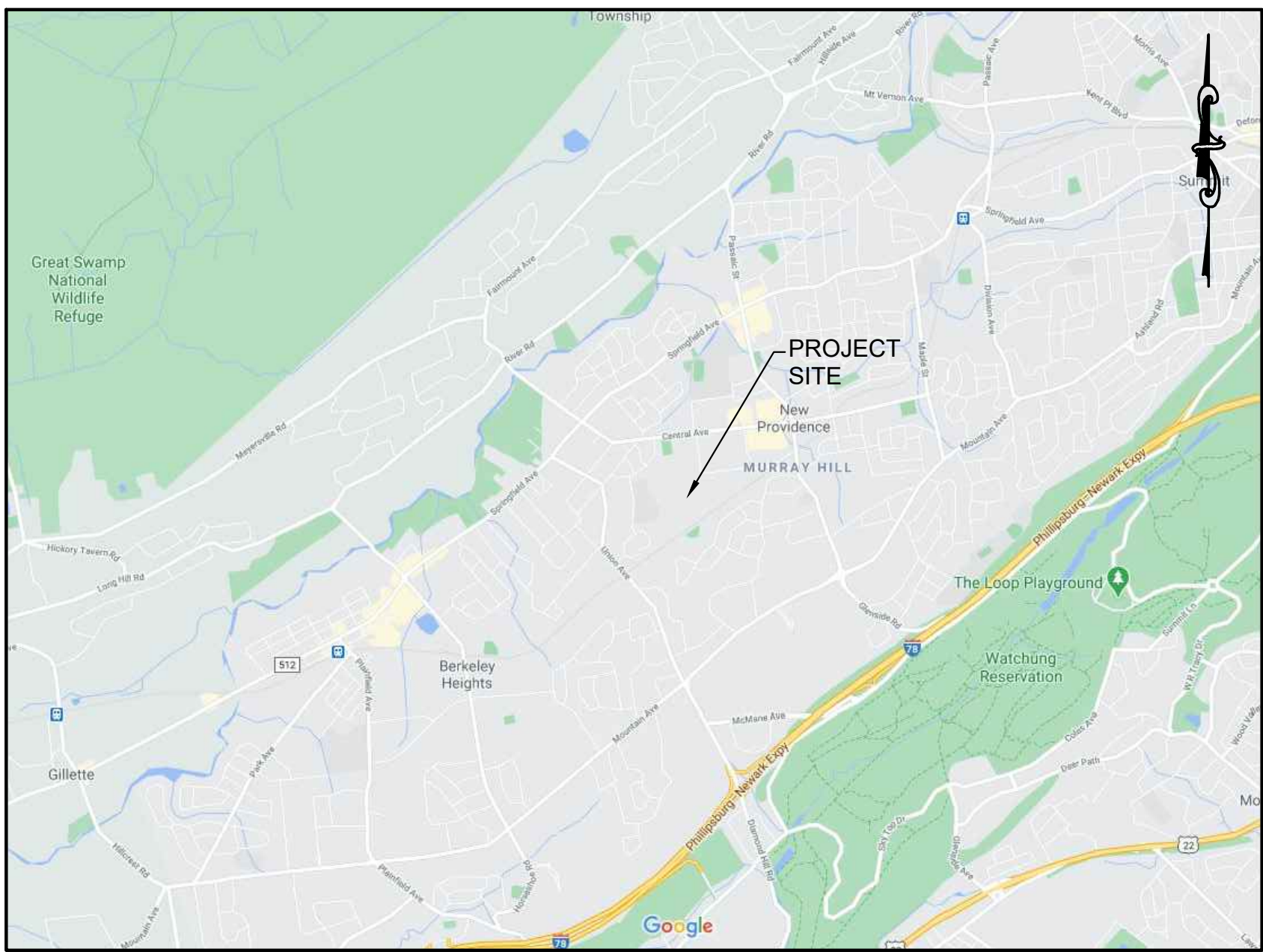
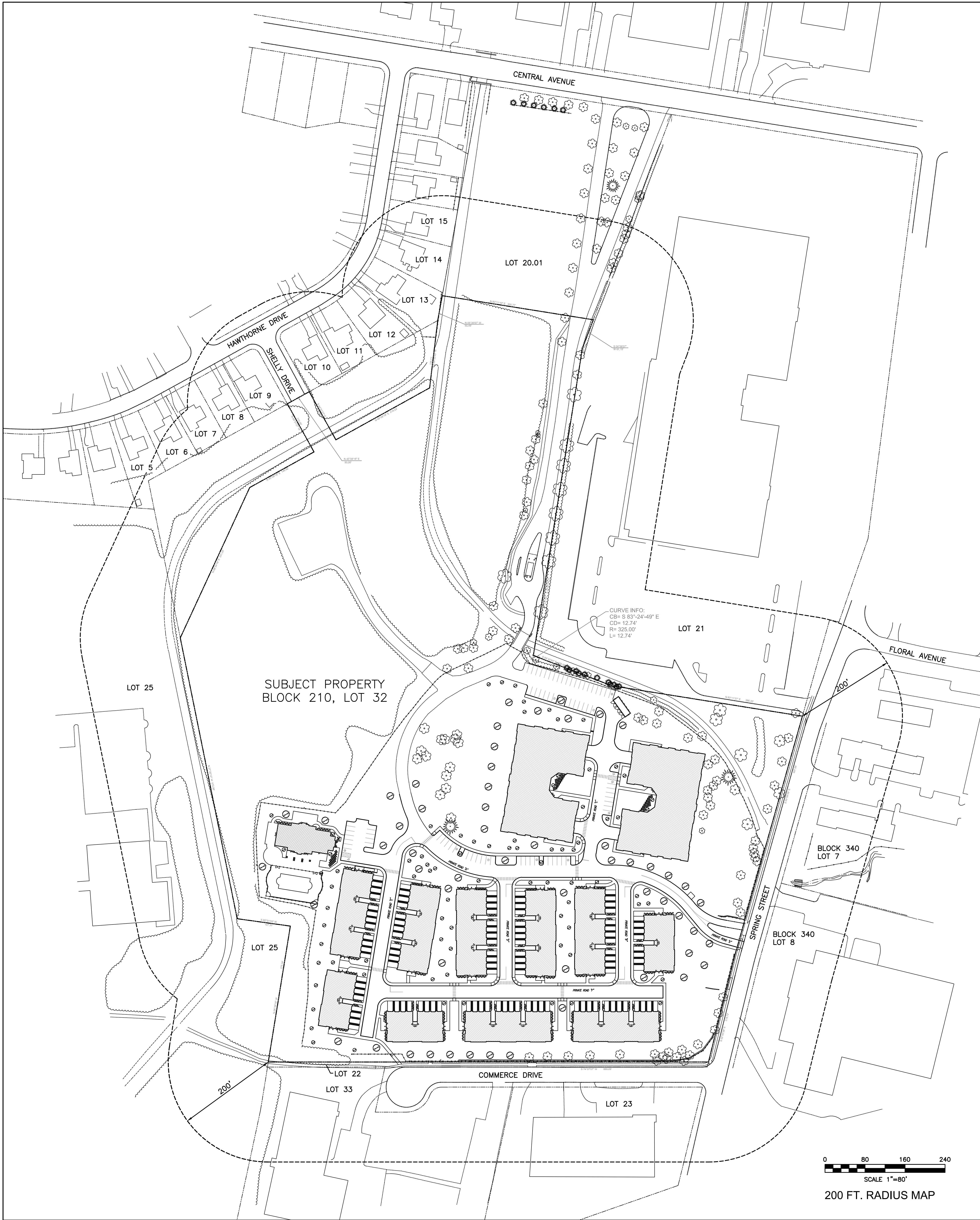
BLOCK	LOT	PROPERTY OWNER	BLOCK	LOT	PROPERTY OWNER
185	18	ETIENNE, CRAIG GIOCONDA GALLO 807 CENTRAL AVE NEW PROVIDENCE, NJ 07974	210	4	YOCOA, JOHN & MARIANNE 86 HAWTHORNE DR NEW PROVIDENCE, NJ 07974
185	19	MELLUSI, JOSEPH P & GALE 795 CENTRAL AVE NEW PROVIDENCE, NJ 07974	210	5	SCHWANENFLUGEL, D - SCHNEIDER, R 80 HAWTHORNE DR NEW PROVIDENCE, NJ 07974
185	20	BOROUGH OF NEW PROVIDENCE 260 ELKWOOD AVE NEW PROVIDENCE, NJ 07974	210	6	SERRAJOTTO, ANDREA & PAVAN, I SABELLA 76 HAWTHORNE DR NEW PROVIDENCE, NJ 07974
185	21	ADVANCED FINANCIAL SERVICE CR UNION 778 CENTRAL AVE NEW PROVIDENCE, NJ 07974	210	7	SILPADUANG, THONGCHAI & THANEEYA 70 HAWTHORNE DR NEW PROVIDENCE, NJ 07974
185	22.01	MSM 755 CENTRAL AVE LLC 377 ROUTE 59 SUITE 2 AIRMONT, NY 10952	210	8	ZIA, KHALID 66 HAWTHORNE DR NEW PROVIDENCE, NJ 07974
185	22.02	M LABS LLC 330 E 38TH STREET APT24K NEW YORK, NY 10018	210	9	PORFIRIS, M-GAVAKOS, V & GAVAKOS, A 60 HAWTHORNE DR NEW PROVIDENCE, NJ 07974
185	22.03	NP INVESTMENTS LLC 755 CENTRAL AVE, UNIT 3 NEW PROVIDENCE, NJ 07974	210	10	GAVAKOS, ATHANASIOS (EST) & VASILIKI 50 HAWTHORNE DR NEW PROVIDENCE, NJ 07974
185	22.04	NP CENTRAL LLC 298 CHARNWOOD ROAD NEW PROVIDENCE, NJ 07974	210	11	BOURASSA, BA & SAUNDERS, ER JR 46 HAWTHORNE DR NEW PROVIDENCE, NJ 07974
185	22.05	PRAMOS COMPANY LLC 90 COMMONWEALTH AVE NEW PROVIDENCE, NJ 07974	210	12	DEMPSREY, PHILIP L & LYNN V 40 HAWTHORNE DR NEW PROVIDENCE, NJ 07974
185	22.06	PRAMOS COMPANY LLC 90 COMMONWEALTH AVE NEW PROVIDENCE, NJ 07974	210	13	SCHVAMBERG, FRANK G & LYDIA 36 HAWTHORNE DR NEW PROVIDENCE, NJ 07974
185	22.07	PRAMOS COMPANY LLC 90 COMMONWEALTH AVE NEW PROVIDENCE, NJ 07974	210	14	ROBERT J GRUBB ARTICLE IV TRUST 30 HAWTHORNE DR NEW PROVIDENCE, NJ 07974
185	22.08	PRAMOS COMPANY LLC 90 COMMONWEALTH AVE NEW PROVIDENCE, NJ 07974	210	15	MACNEAL, MARGARET 26 HAWTHORNE DR NEW PROVIDENCE, NJ 07974
185	23.01	BOROUGH OF NEW PROVIDENCE 360 ELKWOOD AVE NEW PROVIDENCE, NJ 07974	210	16	BI, CAIXIA & WANG, JIANHONG 20 HAWTHORNE DR NEW PROVIDENCE, NJ 07974
185	23.02	705 CENTRAL AVENUE NP LLC 705 CENTRAL AVE - UNIT #2 NEW PROVIDENCE, NJ 07974	210	17	ZHANG, WAN YAO ESTATE & PIE RONG 14 HAWTHORNE DRIVE NEW PROVIDENCE, NJ 07974
185	23.03	THE HADY FAMILY LIMITED PARTNERSHIP PO BOX 141810 GAINESVILLE, FL 32614	210	18	VINJAMURI, RAMESH & VAAGDEVI 4 HAWTHORNE DRIVE NEW PROVIDENCE, NJ 07974
185	23.04	705 CENTRAL AVE NEW PROVIDENCE, LLC 112 BRUNSWICK ST #1 JERSEY CITY, NJ 07302	210	19	NAHATA, HANS RAJ & VANDANA JAIN 791 CENTRAL AVE NEW PROVIDENCE, NJ 07974
185	23.05	705 CENTRAL AVE NEW PROVIDENCE, LLC 112 BRUNSWICK ST #1 JERSEY CITY, NJ 07302	210	20.01	BOROUGH OF NEW PROVIDENCE 360 ELKWOOD AVE NEW PROVIDENCE, NJ 07974
185	23.06	705 CENTRAL AVE NEW PROVIDENCE, LLC 112 BRUNSWICK ST #1 JERSEY CITY, NJ 07302	210	21	SHELBOURNE SPRING LLC 2382 NOSTRAND AVE, SUITE 7 BROOKLYN, NY 11210
185	23.07	705 CENTRAL AVE 2A LLC 705 CENTRAL AVE UNIT 2A NEW PROVIDENCE, NJ 07974	210	22	BOROUGH OF NEW PROVIDENCE 360 ELKWOOD AVE NEW PROVIDENCE, NJ 07974
197	6	MARTIN, GEORGE G 804 CENTRAL AVE NEW PROVIDENCE, NJ 07974	210	23	SK MURRAY HILL LP 961 ROUTE 22 - PO BOX 6622 BRIDGEWATER, NJ 08807
197	7	SHERMAN, ROBERT & SANDRA B 15 HAWTHORNE DRIVE NEW PROVIDENCE, NJ 07974	210	24	BOROUGH OF NEW PROVIDENCE 360 ELKWOOD AVE NEW PROVIDENCE, NJ 07974
197	8	CHIN, KIMBERLY 19 HAWTHORNE DRIVE NEW PROVIDENCE, NJ 07974	210	25	BOARD OF EDUCATION 358 ELKWOOD AVE NEW PROVIDENCE, NJ 07974
197	9	BRADFORD, ANTHONY G & NERSES, NORA 25 HAWTHORNE DRIVE NEW PROVIDENCE, NJ 07974	210	33	PERLIN PROPERTIES, LLC 77 SEMINOLE WAY SHORT HILLS, NJ 07078
197	10	ROGOZENSKI, ROGER-SACKEL, ILYSE M 35 HAWTHORNE DRIVE NEW PROVIDENCE, NJ 07974	210	34	BOROUGH OF NEW PROVIDENCE 360 ELKWOOD AVE NEW PROVIDENCE, NJ 07974
197	11	WONG, JOYCE 43 HAWTHORNE DR NEW PROVIDENCE, NJ 07974	340	7	RELDUS ASSOC c/o FLORAL AVE VENTURES 69 MAIN ST CHATHAM, NJ 07928
197	12	ABELSON, ROBERT J ESTATE & JOAN 47 HAWTHORNE DR NEW PROVIDENCE, NJ 07974	340	8	DAVANNE REALTY, ET AL c/o MANDELBAUM 80 MAIN ST WEST ORANGE, NJ 07052
197	13	OSTROFF, IRWIN & BETTE 3 LACKAWANNA BLVD MURRAY HILL, NJ 07974			

NEW JERSEY CENTRAL POWER & LIGHT CO.
C/O CORPORATION TRUST CO.
820 BEAR TAVERN RD
WEST TRENTON, NJ 08628

COMCAST CORPORATION, LEGAL DEPT
150 MARKET STREET
PHILADELPHIA, PA 19102

DONNA SHORT, GIS SUPERVISOR
NEW JERSEY AMERICAN WATER CO., INC.
1025 LAUREL OAK ROAD
VOORHEES, NJ 08043

PRELIMINARY & FINAL SITE PLAN EXHIBIT
FOR
RESIDENTIAL DEVELOPMENT
SPRING ST & COMMERCE ST - BLOCK 210, LOT 32
BOROUGH OF NEW PROVIDENCE, UNION COUNTY, NJ



LOCATION MAP -- NOT TO SCALE

ZONING ANALYSIS		REQUIRED/PERMITTED		EXISTING		PROPOSED	
ZONE A4 AFFORDABLE HOUSING		20 AC		27.24 AC		27.24 AC	
MIN. LOT SIZE		38 FT		-		38 FT	
MAX. RESIDENTIAL BLDG. HEIGHT		30 FT		-		30 FT	
MIN. SETBACK FROM COMMERCE ST		40 FT		51.2 FT		40.0 FT	
MIN. SETBACK FROM SPRING ST		40 FT		111.7 FT		93.57 FT	
MIN. SETBACK FROM BLOCK 210, LOT 21		30 FT		100.7 FT		105.09 FT	
MIN. SETBACK FROM R-2 ZONE		40 FT		-		79.51 FT	
MIN. SETBACK FROM INTERNAL STREETS		12 FT		-		20 FT	
MAX. BUILDING COVERAGE		25%		17.3%		12.8%	
MAX. IMPROVED LOT COVERAGE		50%		38.0%		29.8%	
MIN. PARKING SETBACK TO BLDGS		15 FT		-		20 FT	
MIN. LENGTH OF TOWNHOUSE DRIVEWAYS		20 FT		-		20 FT	

RESIDENTIAL UNITS ALLOWED - 192

RESIDENTIAL UNITS PROPOSED: 108 TOWNHOUSE UNITS
84 APARTMENT UNITS
TOTAL = 192 UNITS

PARKING ANALYSIS:

REQUIRED PARKING: (2) PER TOWNHOUSE x 108 = 216 STALLS
(2) PER APARTMENT x 84 = 168 STALLS
TOTAL REQUIRED = 384 STALLS

PROVIDED PARKING:

TOWNHOUSE PARKING - (2) STALLS PER UNIT (DRIVEWAY AND GARAGE) = 216 STALLS

PARKING UNDER BUILDING : 76 PER BUILDING x 2 BUILDINGS = 152 STALLS

SITE PARKING: 68 STALLS

CLUBHOUSE PARKING: 13 STALLS

TOTAL PARKING PROVIDED: 449 STALLS

VARIANCE REQUESTED:

- VARIANCE REQUESTED FROM 310-50.1(j)(i) FOR PROPOSED BUILDING IN EXCESS OF 200 FEET IN LENGTH.

GENERAL NOTES:

- THIS APPLICATION PROPOSES THE RE-DEVELOPMENT OF THE PROJECT SITE WITH AFFORDABLE HOUSING, CONSISTING OF THE FOLLOWING:
 - (3) 8 UNIT TOWNHOUSE BUILDINGS, WITH DRIVEWAYS
 - (7) 12 UNIT TOWNHOUSE BUILDINGS, WITH DRIVEWAYS
 - (2) 42 UNIT APARTMENT BUILDINGS, WITH PARKING ON LOWEST LEVEL
 - CLUBHOUSE & AMENITIES, WITH PARKING
 - ADDITIONAL SITE PARKING
 - INTERNAL (PRIVATE) ROADWAYS AND SIDEWALKS
 - NEW UTILITY SERVICES FOR RESIDENTIAL BUILDINGS
- THIS PROJECT WILL OBTAIN ALL NECESSARY PERMITTING FROM OTHER AGENCIES HAVING JURISDICTION, INCLUDING:
 - A. NJDEP FLOOD HAZARD AREA & FRESHWATER WETLANDS
 - B. SOMERSET-UNION SOIL CONSERVATION DISTRICT
 - C. UNION COUNTY PLANNING BOARD
 - D. SEWER & WATER UTILITIES
- ALL CONSTRUCTION SHALL CONFORM TO BOROUGH OF NEW PROVIDENCE DESIGN STANDARDS.

OWNER/APPLICANT:

GH NP CENTRAL, LLC
1880 NP HOLDINGS, LLC
Hill NP Central, LLC
820 MORRIS TURNPIKE, Suite 301
SHORT HILLS, NJ 07078
c/o Tony DiGiovanni
TEL 201-259-2311

ARCHITECT:

BLACKBIRD GROUP ARCHITECTS
PO BOX 5943
NEWARK, NJ 07105
TEL 973-954-4650

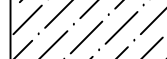
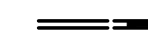
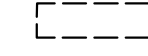
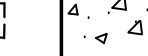
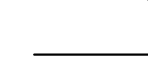
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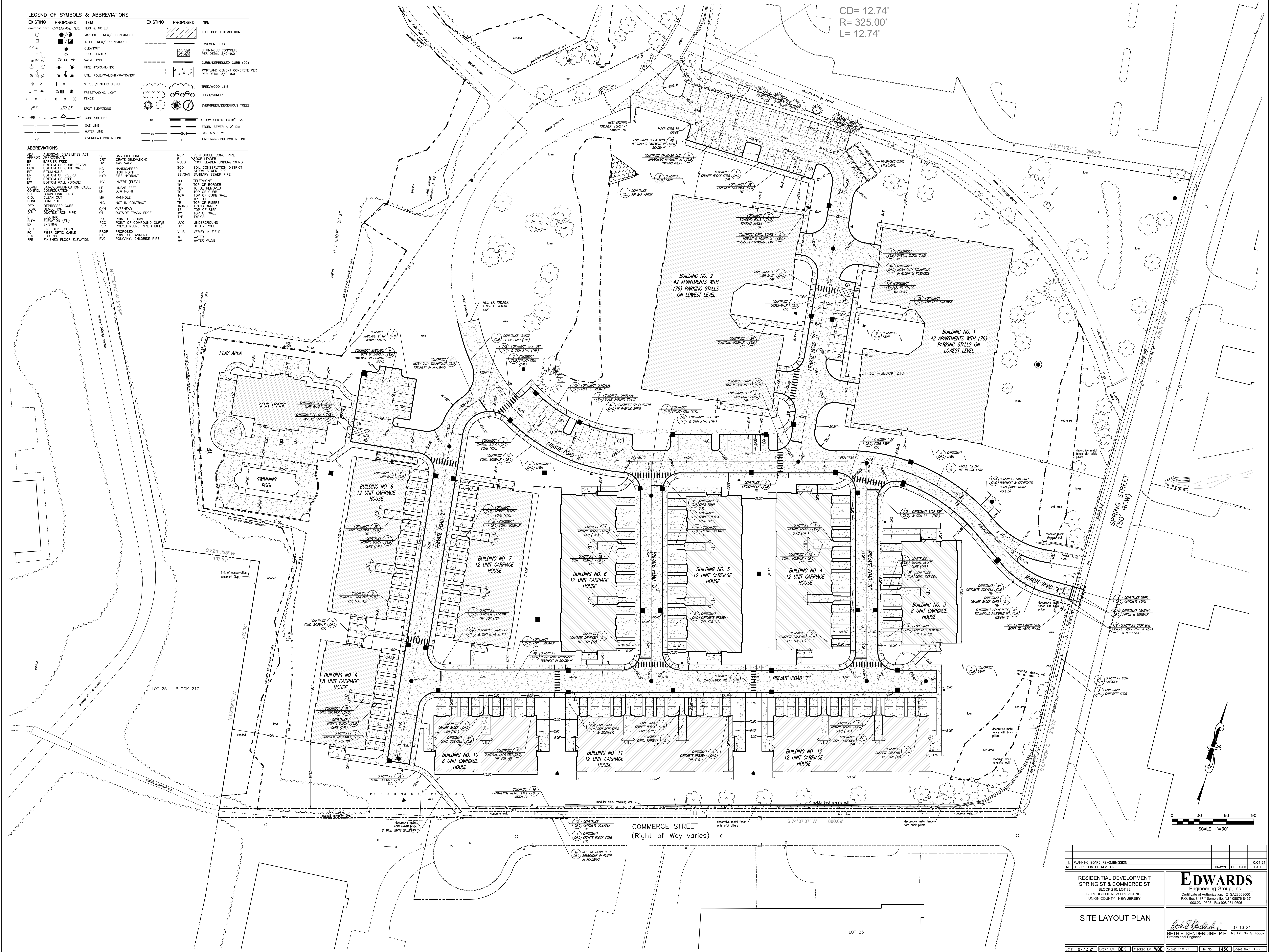
C-0.0	COVER SHEET	ARCHITECTURAL PLANS:
C-1.0	EXISTING CONDITIONS PLAN	T-1 TITLE SHEET AND NOTES
C-2.0	SITE DEMOLITION PLAN	A-1.1 8-UNIT CARRIAGE HOUSE - FLOOR PLANS
C-3.0	SITE PLAN	A-1.2 8-UNIT CARRIAGE HOUSE - FLOOR PLANS
C-4.0	SITE GRADING PLAN	A-1.3 12-UNIT CARRIAGE HOUSE - FLOOR PLANS
C-5.0	SITE UTILITY PLAN	A-1.4 12-UNIT CARRIAGE HOUSE - FLOOR PLANS
C-6.0	LANDSCAPING PLAN	A-2.1 8-UNIT CARRIAGE HOUSE - BUILDING ELEVATIONS
C-7.0	SITE LIGHTING PLAN	A-2.2 8-UNIT CARRIAGE HOUSE - BUILDING ELEVATIONS
C-8.0	SOIL EROSION & SEDIMENT CONTROL PLAN	A-2.3 12-UNIT CARRIAGE HOUSE - FRONT & RIGHT SIDE BUILDING ELEVATIONS
C-8.0	DETAILS	A-2.4 12-UNIT CARRIAGE HOUSE - REAR & LEFT SIDE BUILDING ELEVATIONS
C-9.1	DETAILS	A-2.5 12-UNIT CARRIAGE HOUSE - FRONT & RIGHT SIDE BUILDING ELEVATIONS
SV-1.0	PLAN OF SURVEY	A-2.6 12-UNIT CARRIAGE HOUSE - REAR & LEFT SIDE BUILDING ELEVATIONS
		B1-1.1 BUILDING-1 - GROUND FLOOR PLAN
		B1-1.2 BUILDING-1 - SECOND FLOOR PLAN
		B1-1.3 BUILDING-1 - THIRD FLOOR PLAN
		B1-1.4 BUILDING-1 - FOURTH FLOOR PLAN
		B1-2.1 BUILDING-1 - FRONT & RIGHT SIDE BUILDING ELEVATIONS
		B1-2.2 BUILDING-1 - REAR & LEFT SIDE BUILDING ELEVATIONS
		B2-1.1 BUILDING-2 - GROUND FLOOR PLAN
		B2-1.2 BUILDING-2 - SECOND FLOOR PLAN
		B2-1.3 BUILDING-2 - THIRD FLOOR PLAN
		B2-1.4 BUILDING-2 - FOURTH FLOOR PLAN
		B2-2.1 BUILDING-2 - FRONT & RIGHT SIDE BUILDING ELEVATIONS
		B2-2.2 BUILDING-2 - REAR & LEFT SIDE BUILDING ELEVATIONS

APPROVALS OF THE BOARD

CHAIRMAN	DATE
BOARD SECRETARY	DATE
BOARD ENGINEER	DATE

1. PLANNING BOARD RE-SUBMISSION NO. DESCRIPTION OF REVISION	10.04.21 DRAWN [] CHECKED [] DATE []
RESIDENTIAL DEVELOPMENT SPRING ST & COMMERCE ST BLOCK 210, LOT 32 BOROUGH OF NEW PROVIDENCE UNION COUNTY - NEW JERSEY	EDWARDS Engineering Group, Inc. Certificate of Authorization: 240A000800 P.O. Box 9437 - Somerville, NJ 08876-9437 908.231.9595 Fax 908.231.9696
COVER SHEET	<i>Beth E. Kenderdine</i> BETH E. KENDERDINE, P.E. NJ Lic. No. GE45832 Professional Engineer 07-13-21
Date: 07.13.21 Drawn By: BEK Checked By: WBE Scale NOTED File No.: 1450 Sheet No.: C-0.0	

EXISTING	PROPOSED	ITEM	EXISTING	PROPOSED	ITEM
lowercase text	UPPERCASE TEXT	TEXT & NOTES			FULL DEPTH DEMOLITION
		MANHOLE - NEW/RECONSTRUCT	----	----	PAYMENT EDGE
		INLET - NEW/RECONSTRUCT	=====	=====	BITUMINOUS CONCRETE PER DETAIL C/C-9.0
c.o.g.		CLEANOUT		=====	CURB/DEPRESSION CURB (OC)
		ROOF LEADER		=====	PORTLAND CEMENT CONCRETE PER DETAIL C/C-9.0
GV MV		VALVE-TYPE			
		FIRE HYDRANT/FDC			
		UTILITY POLE W/LIGHT-W/TRANS.			
		STREET/TRAFFIC SIGNS:			TREE/WOOD LINE
		FREESTANDING LIGHT			BUSH/SHRUBS
		FENCE			EVERGREEN/DECIDUOUS TREES
		SPOT ELEVATIONS			
±0.25	±0.25				
		CONTOUR LINE	41		STORM SEWER >=15" DIA.
		GAS LINE			STORM SEWER <12" DIA.
		WATER LINE	55		SANITARY SEWER
		OVERHEAD POWER LINE	A		UNDERGROUND POWER LINE

[illegible]

1. PLANNING BOARD RE-SUBMISSION					
NO. DESCRIPTION OF REVISION					10.04.21
			DRAWN	CHECKED	DATE

**RESIDENTIAL DEVELOPMENT
SPRING ST & COMMERCE ST**

BLOCK 210, LOT 35

BOROUGH OF NEW PROVIDENCE
UNION COUNTY - NEW JERSEY



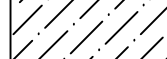
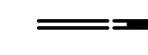
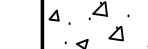
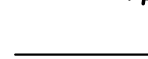
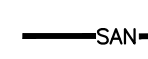
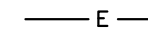
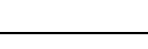
Certificate of Authorization: 24GA02808030
P.O. Box 9437 • Bensenville, IL 60015-9437
908.231.9595 • Fax 908.231.9595

SITE LAYOUT PLAN

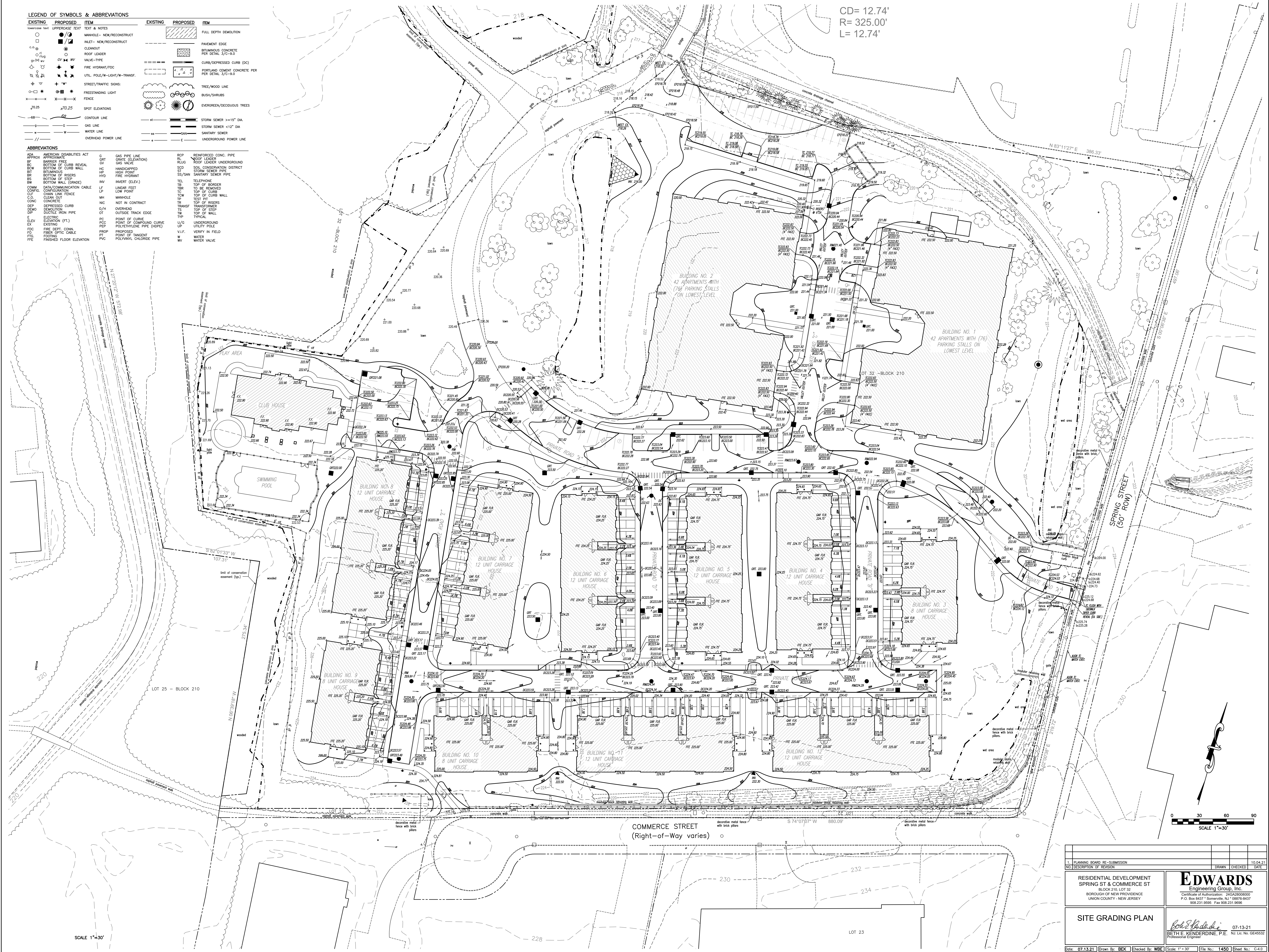


BETH E. KENDERDINE, P.E. 07-13-21
Professional Engineer NJ Lic. No. GE45502

Date: 07.13.21	Drawn by: BEK	Checked by: WBE	Scale: 1" = 30'	File No.: 1450	Sheet No.: C-3-0
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EXISTING	PROPOSED	ITEM	EXISTING	PROPOSED	ITEM
lowercase text	UPPERCASE TEXT	TEXT & NOTES			FULL DEPTH DEMOLITION
		MANHOLE - NEW/RECONSTRUCT	----	----	PAYMENT EDGE
		INLET - NEW/RECONSTRUCT	=====	=====	BITUMINOUS CONCRETE PER DETAIL C/C-9.0
c.o.g.		CLEANOUT		=====	CURB/DEPRESSION CURB (OC)
		ROOF LEADER		=====	PORTLAND CEMENT CONCRETE PER DETAIL C/C-9.0
GV		VALVE-TYPE	=====	=====	TREE/WOOD LINE
		FIRE HYDRANT/FDC		=====	BUSH/SHRUBS
		UTILITY POLE/W-LIGHT/W-TRANSF.		=====	EVERGREEN/DECIDUOUS TREES
		STREET/TRAFFIC SIGNS:		=====	
		FREESTANDING LIGHT		=====	
		FENCE		=====	
		SPOT ELEVATIONS		=====	
		CONTOUR LINE		=====	STORM SEWER >=15" DIA.
		GAS LINE		=====	STORM SEWER <12" DIA.
		WATER LINE		=====	SANITARY SEWER
		OVERHEAD POWER LINE		=====	UNDERGROUND POWER LINE

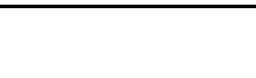
ABBREVIATIONS			
ADA	AMERICAN DISABILITIES ACT	G	GAS PIPE LINE
APPROX	APPROXIMATE	GR	GRATE (ELEVATION)
BAR	BARRETT REEVE	HT	HOOT LADDER
BCW	BOTTOM OF CURB WALL	HC	HANDICAPPED
BT	BOTTOM OF TIE	HY	HYDRO FIBRE
BR	BOTTOM OF RISERS	INV	INVERT (ELEV.)
BTW	BETWEEN OF TIES		
BW	BOTTOM WALL (GRADE)		
CCM	CABLE/COMMUNICATION CABLE	LF	LINEAR FEET
CD	CONDUIT/CONDUIT	LP	LOW POINT
CH	CHAIN LINK FENCE	LM	MANHOLE
CL	CLEAR CUT		
CONC	CONCRETE	N/C	NOT IN CONTRACT
DEP	DEPRESSED CURB	O/H	OVERHEAD
DEM	DEMOLITION	OT	OUTSIDE TRUCK PIPE
DET	DETENTION PIPE		
E	ELECTRIC	PC	POINT OF CURVE
ELEV	ELEVATION (FT.)	PCD	POINT OF COMING CURVE
EX	EXT. DIGIT, CONN.	PEF	PERFORATED LINE (PEPS)
FDC	FIBER OPTIC CABLE	PROP	PROPOSED
FTC	FOOTING	PT	POINT OF TANGENT
FTE	FENCED FLOOR ELEVATION	PLV	POLYVINYL CHLORIDE
		RCP	REINFORCED CONC. PIPE
		RD	ROAD
		RLUG	NOOF LADDER
		SS	STORM SEWER UNDERGROUND
		SSC	SOIL CONSERVATION DISTRICT
		SS/SSAN	STORM SEWER PIPE SANITARY SEWER PIPE
		TEL	TELEPHONE
		TB	TOP OF BORDER
		TBR	TO BE REMOVED
		TCC	TOP OF CURB
		TOW	TOP OF CURB
		TP	TEST PIT
		TR	TOP OF RISERS
		TRNS	TRANSFORMATION
		TRSF	TOP OF RISER
		TS	TOP OF STEP
		TSR	TOP OF SLOPE
		U/C	UNDERGROUND
		UL	UTILITY POLE
		U/C	UNDERGROUND
		V.F.	VERIFY VERT. FIELD
		W	WATER
		WV	WATER VARY



SCALE 1"=30'

COMMERCE STREET
(Right-of-Way varies)

0 30 60 90
SCALE 1"=30'

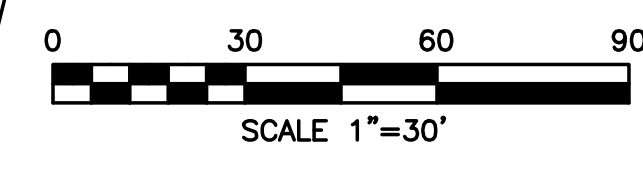
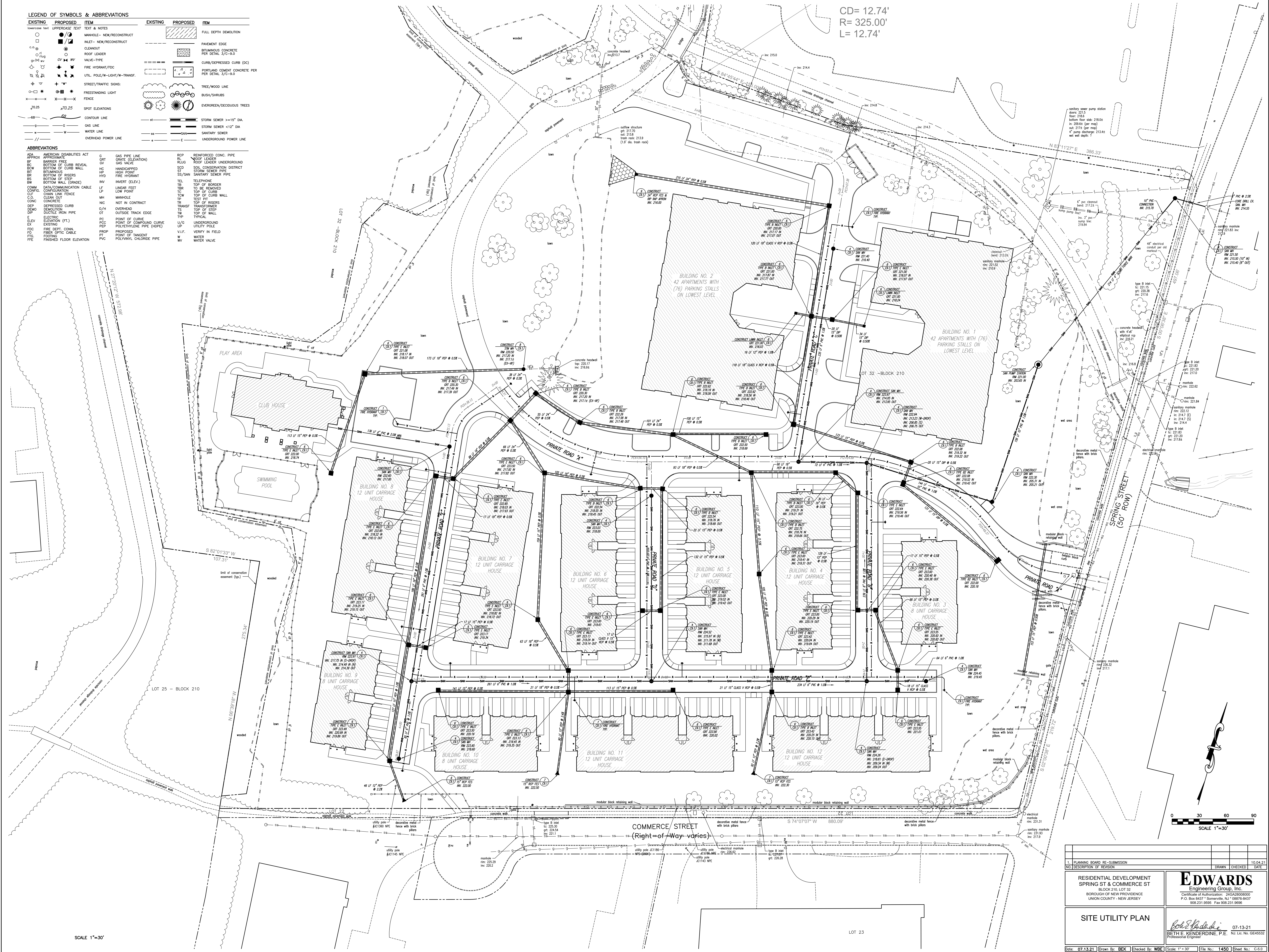
1.	PLANNING BOARD RE-SUBMISSION								10.04.21	
Nº	DESCRIPTION OF REVISION							DRAWN	CHECKED	DATE
RESIDENTIAL DEVELOPMENT SPRING ST & COMMERCE ST BLOCK 210, LOT 30 BOROUGH OF NEW PROVIDENCE UNION COUNTY - NEW JERSEY						 EDWARDS Engineering Group, Inc. Certificate of Authorization: 24GA02808030 P.O. Box #6437 • Somerset, NJ 08876-6437 908.231.9595 • Fax 908.231.9595				
SITE GRADING PLAN						 BETH E. KENDERDINE, P.E. NJ Lic No: GE45502 Professional Engineer 07-13-21				
Date:	07.13.21	Drawn by:	BEK	Checked by:	WRE	Scale: 1" = 30'	File No:	1450	Sheet No.: C=4-C	

LEGEND OF SYMBOLS & ABBREVIATIONS

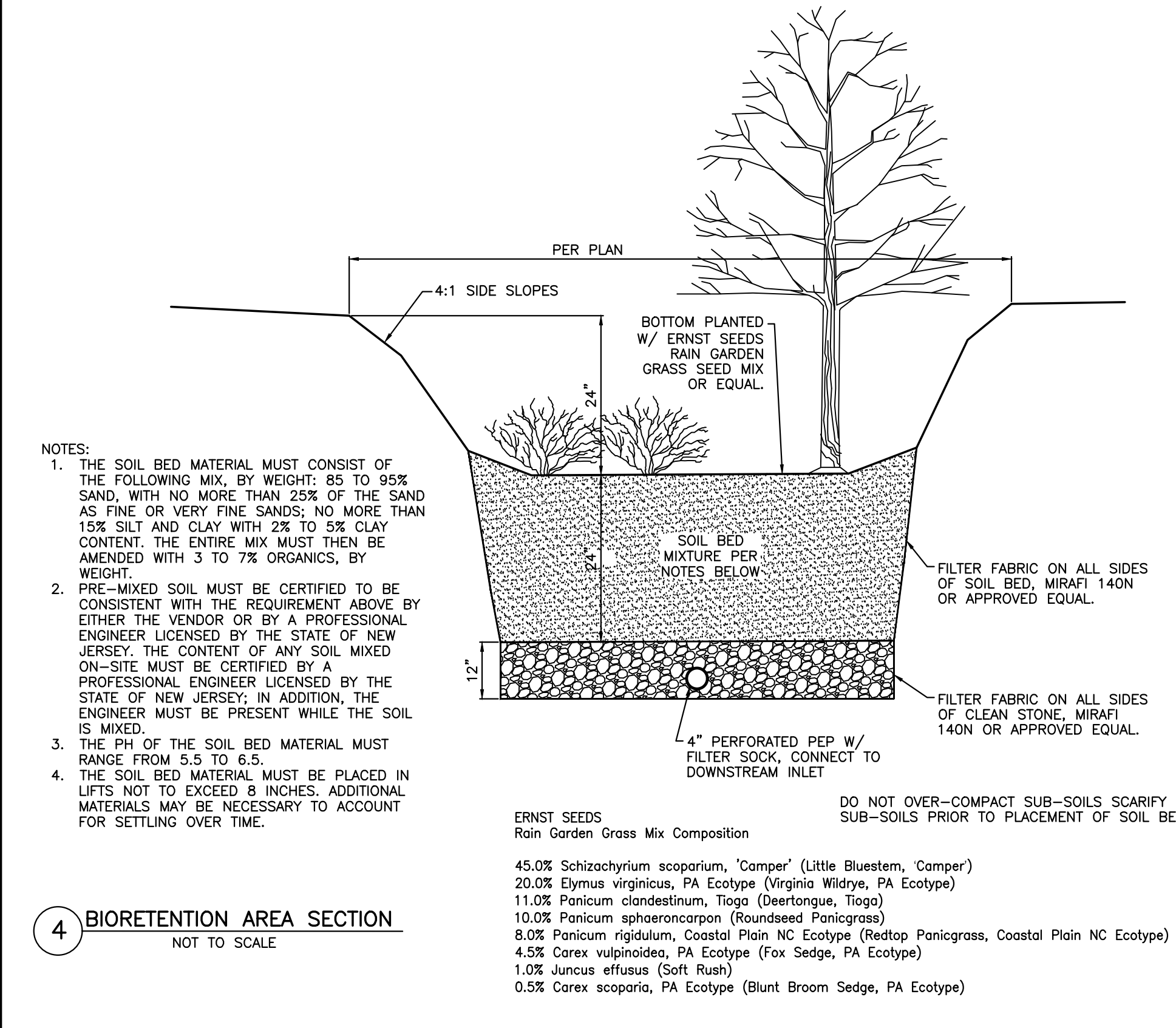
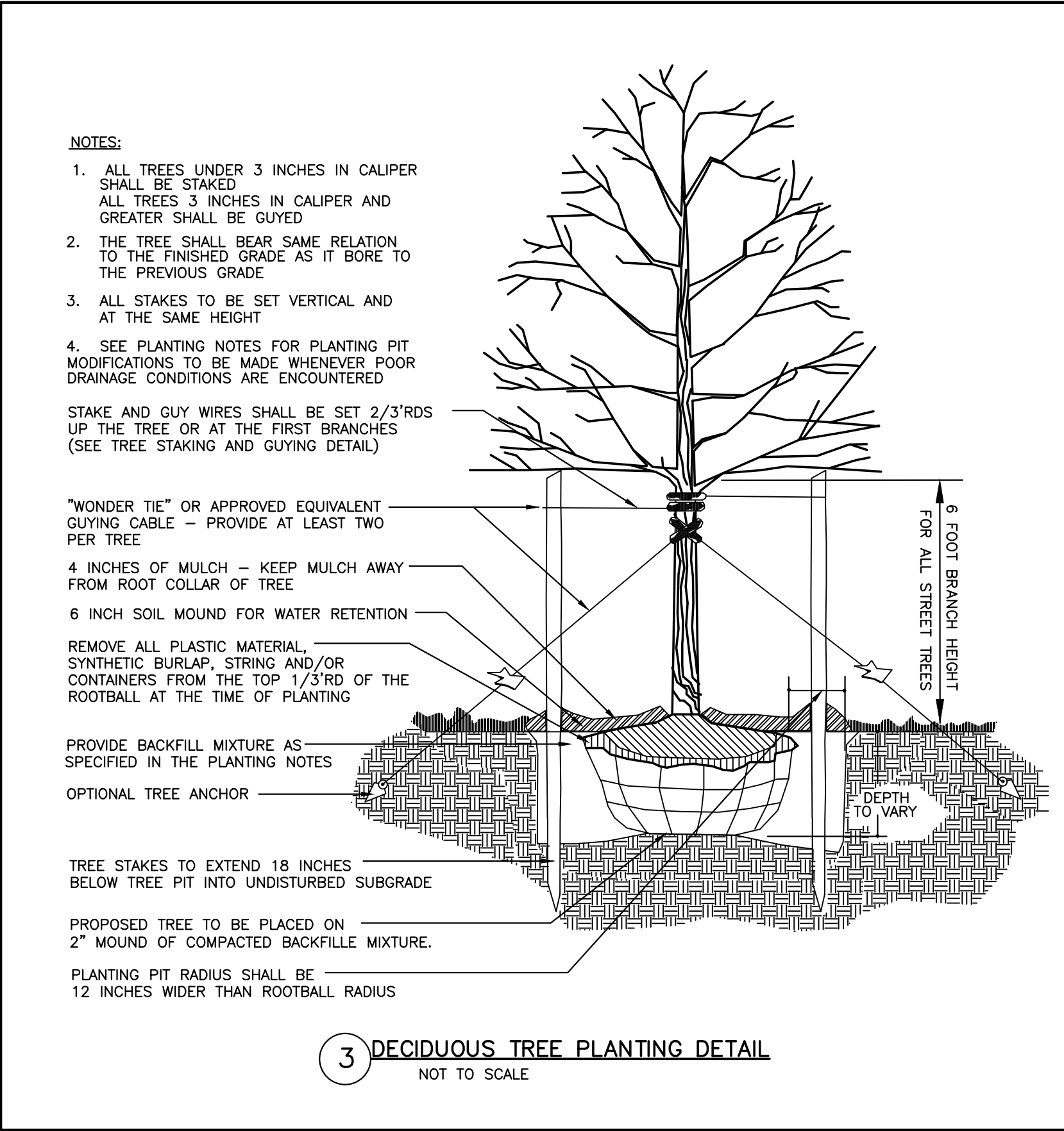
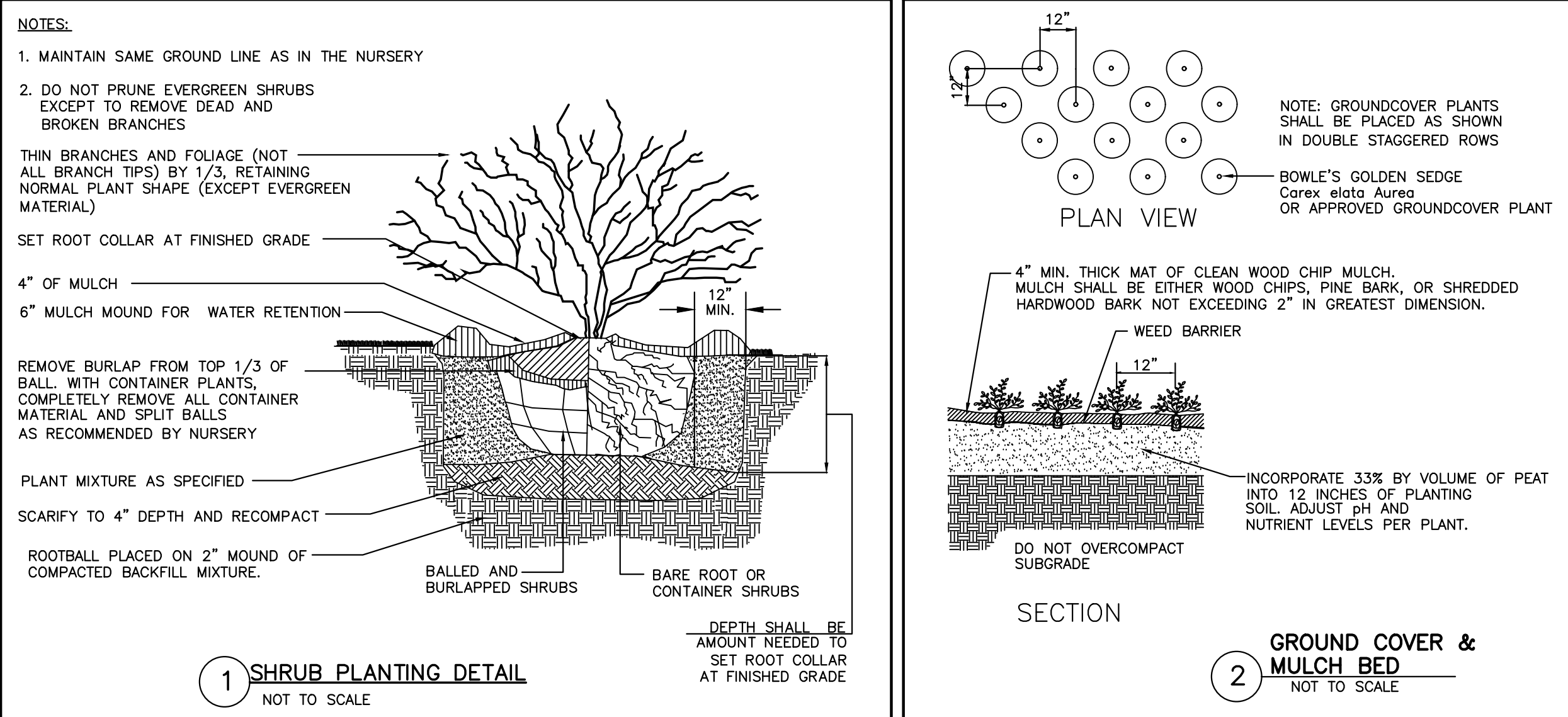
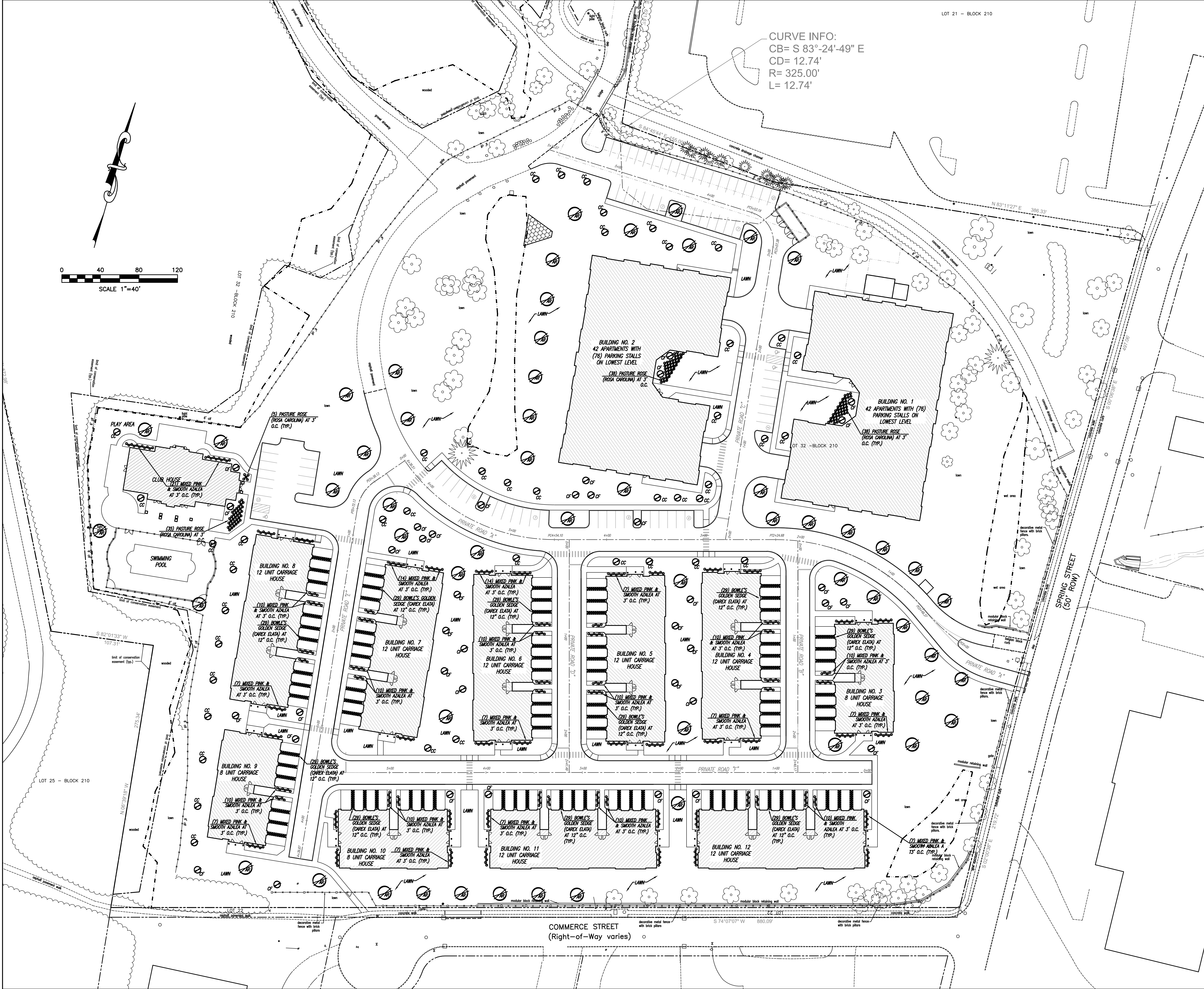
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lowercase text	UPPERCASE TEXT	TEXT & NOTES			
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□	■	INLET- NEW/RECONSTRUCT	---	---	PAVEMENT EDGE
○	○	CLEANOUT	---	---	BITUMINOUS CONCRETE PER DETAIL 3/C-9.0
○	○	ROOF LEADER	---	---	CURB/DEPRESSED CURB (DC)
○	○	VALVE-TYPE	---	---	PORTLAND CEMENT CONCRETE PER DETAIL 3/C-9.0
○	○	FIRE HYDRANT/FDC	---	---	TREE/WOOD LINE
○	○	UTL. POLE/W-LIGHT/W-TRANSF.	---	---	BUSH/SHRUBS
○	○	STREET/TRAFFIC SIGNS	---	---	EVERGREEN/DECIDUOUS TREES
○	○	FREESTANDING LIGHT	---	---	STORM SEWER >15" DIA.
○	○	FENCE	---	---	STORM SEWER <12" DIA.
○	○	SPOT ELEVATIONS	---	---	SANITARY SEWER
---	---	CONTOUR LINE	---	---	UNDERGROUND POWER LINE
---	---	QAC LINE	---	---	
---	---	WATER LINE	---	---	
---	---	OVERHEAD POWER LINE	---	---	

ABBREVIATIONS	ABBREVIATIONS	ABBREVIATIONS
ADP APPROX. APPROXIMATE	G GAS PIPE LINE	RPC REINFORCED CONC. PIPE
APPROX. APPROXIMATE	GRATE (ELEVATION)	RLG ROOF LEADER
BC BOTTOM OF CURB REVEAL	HP HANDICAPPED	SDI SOIL CONSERVATION DISTRICT
BCW BOTTOM OF CURB WALL	HC HIGH POINT	ST STORM SEWER PIPE
BT BOTTOM OF RISERS	HYD FIRE HYDRANT	SS/SAN SANITARY SEWER PIPE
BS BOTTOM OF STEP	INV INVERT (ELEV.)	TEL TELEPHONE
BSW BOTTOM WALL (GRADE)	LP LINEAR FEET	TB TOP OF BORDER
COMM. COMMUNICATION CABLE	LF LOW POINT	TBR TO BE REMOVED
C.O. CLEAN OUT	MH MANHOLE	TC TOP OF CURB WALL
CONC. CONCRETE	NI NOT IN CONTRACT	TF TOP OF FINISH
DCP DEPRESSED CURB	O/H OVERHEAD	TH TOP OF RISERS
DEMO DEMOLITION	OT OUTSIDE TRACK EDGE	TRANS TRANSFORMER
DIM DUCTILE IRON PIPE	PCC POINT OF CURVE	TS TOP OF STEP
E ELECTRIC	PPC POINT OF COMPOUND CURVE	TM TYPICAL
EV ELEVATION (F.T.)	PEP POLYETHYLENE PIPE (HOPE)	U/G UNDERGROUND
FDC FIRE DEPT. COIN.	PROP PROPOSED	UP UTILITY POLE
FG FIBER OPTIC CABLE	PT POINT OF TANGENT	V.I.F. VERIFY IN FIELD
FTG FOOTING	PVC POLYVINYL CHLORIDE PIPE	W WATER
FTE FINISHED FLOOR ELEVATION		WV WATER VALVE

CD= 12.74'
R= 325.00'
L= 12.74'



1. PLANNING BOARD RE-SUBMISSION		10.04.21
NO. DESCRIPTION OF REVISION		DRAWN CHECKED DATE
RESIDENTIAL DEVELOPMENT SPRING ST & COMMERCE ST BLOCK 210, LOT 32 BOROUGH OF NEW PROVIDENCE UNION COUNTY - NEW JERSEY		
SITE UTILITY PLAN		
Edwards Engineering Group, Inc. Certificate of Authorization: 240A000000 P.O. Box 8437 • Somerville, NJ 08876-8437 908.231.9596 Fax 908.231.9696		07-13-21 BETH E. KENDERDINE, P.E. Professional Engineer
Date: 07.13.21 Drawn By: BEK Checked By: WBE Scale: 1"=30' File No.: 1450 Sheet No.: C-5.0		



PLANT SCHEDULE				
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	INSTALLED SIZE
0000000000	2,349	Carex elata Aures	BOWLE'S GOLDEN SEDGE	12" HEIGHT
0000000000	102	Carex elata Aures	PASTURE ROSE	12" HEIGHT
0000000000	412	Mixed Phlox paniculata Phlox subulata	PINK AZALEA SMOOTH AZALEA	36"-42" HEIGHT
00	40	Cercis canadensis	EASTERN REDBUD	2-2 1/2" CALIPER BAB
00	30	Cornus florida	FLORING DOGWOOD	2-2 1/2" CALIPER BAB
00	63	Acer Rubrum 'October Glory'	'OCTOBER GLORY' RED MAPLE	2-2 1/2" CALIPER BAB

PLANTING NOTES:

1. ALL PLANT MATERIALS USED SHALL BE TRUE TO NAME AND SIZE IN CONFORMITY WITH THE CURRENT EDITION OF THE AMERICAN STANDARD OF NURSERY STOCK AND SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. ALL PLANTS SHALL HAVE NORMAL, WELL-DEVELOPED BRANCHES AND VIGOROUS ROOT SYSTEMS. THEY SHALL BE SOUND, HEALTHY, VIGOROUS, FREE FROM DEFECTS, DISFIGURING KNOTS, ABRASIONS OF THE BARK, SUN SCALD INJURIES, PLANT DISEASES, INSECT EGGS, BORERS, AND ALL OTHER FORMS OF INFECTION. ALL PLANTS SHALL BE NURSERY GROWN.
2. ALL PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO EXISTING GRADE AT THE NURSERY.
3. ALL PLANT MATERIAL IS TO BE GUARANTEED FOR A PERIOD OF TWELVE MONTHS FROM TIME OF FINAL ACCEPTANCE OF THE PROJECT OR AS REGULATED BY THE APPROVING AUTHORITY. IF ANY PLANTS ARE DEAD OR IN AN UNHEALTHY CONDITION BEFORE FINAL ACCEPTANCE OF THE PROJECT, THE LANDSCAPE CONTRACTOR SHALL REPLACE THEM AT HIS EXPENSE.
4. ANY SUBSTITUTIONS OF PLANT MATERIAL WITH REGARD TO SIZE, SPECIES, VARIETY, ETC., SHALL BE SUBJECT TO APPROVAL BY THE PROJECT ENGINEER AND THE OWNER.
5. PRUNE NEWLY PLANTED TREES AS DIRECTED BY THE PROJECT ENGINEER.
6. UNDER NO CIRCUMSTANCES SHOULD THE MAIN LEADER OF A TREE BE TOPPED.
7. CUT AND REMOVE BURLAP FROM TOP ONE-THIRD OF BALL. ALL PLASTIC MATERIAL, SYNTHETIC BURLAP, STRING OR CONTAINERS SHALL BE REMOVED AT THE TIME OF PLANTING. THE WIRE BASKETS AND PLASTIC LINERS OF CONTAINERS OF GROWN TREES AND SHRUBS MUST BE COMPLETELY REMOVED. NO CONTAINER GROWN MATERIAL WILL BE ACCEPTED IF IT IS ROOT BOUND.
8. THE DEPTH OF PLANT PITS SHALL BE INCREASED BY 12" THROUGH THE ADDITION OF LOOSE AGGREGATE (3/4" TO 1 1/2" DIAMETER) WHEREVER POOR DRAINAGE OCCURS OR WHERE DIRECTED BY THE PROJECT ENGINEER.
9. GUY WIRES SHALL BE LOCATED SO THAT THEY WILL NOT PULL CROTCH APART. GUY WIRES TO THE SECOND BRANCH (MINIMUM ONE-THIRD HEIGHT OF TREE). USE TWO GUYS PER TREE UNLESS OTHERWISE INDICATED. TREE STAKES AND GUY WIRES SHALL BE REMOVED AFTER ONE GROWING SEASON.
10. PLANTING BACKFILL MIXTURE SHALL CONSIST OF ONE PART TOPSOIL, ONE PART NATIVE SOIL AND ONE PART PEAT MOSS. NOTE THAT PLANTING MIXTURE MAY CHANGE BASED UPON SOIL CONDITIONS.
11. MULCH, MINIMUM 4" IN DEPTH, SHALL BE EITHER WOOD CHIPS, PINE BARK, OR SHREDDED HARDWOOD BARK NOT EXCEEDING 2" IN GREATEST DIMENSION. ALL MULCHED BEDS SHALL BE RETAINED BY AN ALUMINUM BORDER SUCH AS PERMALOC CLEANLINE XL OR APPROVED EQUAL WHEREVER A MULCHED AREA ADJUNS A VEGETATED LAWN AREA (NOT RESTRAINED BY A HARD SURFACE).
12. ALL PLANT MATERIAL SHALL BE GIVEN A MINIMUM OF 5 GALLONS OF WATER AT THE TIME OF INSTALLATION AND SHALL BE WATERED AT INTERVALS DURING ESTABLISHMENT TO ENSURE ADAPTATION TO THE SITE PRIOR TO THE INSTALLATION OF THE PLANT MATERIAL. THE CONTRACTOR SHALL FILL EACH PLANTING PIT WITH WATER AND ALLOW IT TO FULLY PERCOLATE INTO THE GROUND PRIOR TO PLACEMENT OF THE PLANT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY PERCOLATION PROBLEMS PRIOR TO INSTALLATION.
13. NO PLANTING SHALL BE EXECUTED DURING ABNORMALLY HOT WEATHER NOR WHEN THE GROUND IS FROZEN.
14. THE CONTRACTOR SHALL REMOVE ALL DAMAGED BRANCHES AND NURSERY TAGS AT THE TIME OF INSTALLATION.
15. (3) SLOW RELEASE FERTILIZER TABLETS OR PACKETS OF 20-10-5 COMPOSITION SHALL BE ADDED TO ALL PLANTING PITS FOR TREES.

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LANDSCAPING PLAN		
Edwards Engineering Group, Inc. Certified of Authorization: 240A000000 P.O. Box 8437, Somerville, NJ 08876-8437 908.231.9595 Fax 908.231.9696		
Beth E. Kenderdine, P.E. Professional Engineer	07.13.21	
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